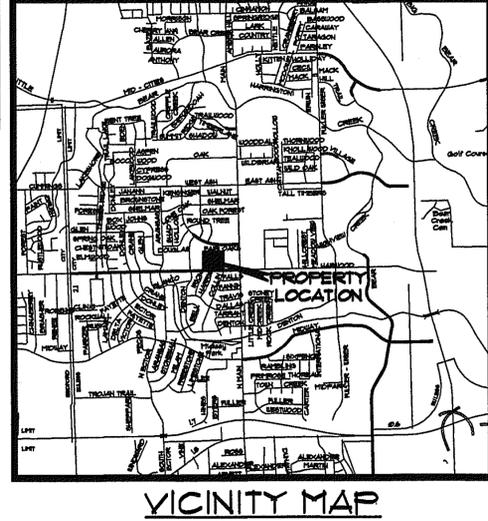


VACANT COMMERCIAL
LOT 5R, BLOCK 2
OAK FOREST ADDITION
CAB. A, SLIDE 3663
P.R.T.C.T.(MED./PROF.)
N 87.56'11" E 170.32'

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT	20'	25'
SIDE	0'	0'
REAR	15'	15'



Date 07/01/2013
Drawn By NEH
Checked By M.J.W.
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF MICHAEL, LEONARD & ASSOCIATES, INC. (MLA) AND MAINTAINS THE INTEGRITY OF THE ORIGINAL DRAWING. IT IS THE USER'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS.

HEB FAMILY DENTISTRY
OFFICE BUILDING
220 W. HARWOOD ROAD
EULESS, TEXAS



M.J. WRIGHT & ASSOCIATES, INC.
8233 MID-CITIES BOULEVARD STE. A, NRH TX 76180
817-268-5555 M.J.WRIGHT@MJA.COM
817-268-5558 WWW.MJWRIGHT.COM



Sheet No.
A1
Project No.
130201A8

LOT 6R, BLOCK 2
OAK FOREST ADDITION
CAB. A, SLIDE 3663
P.R.T.C.T.

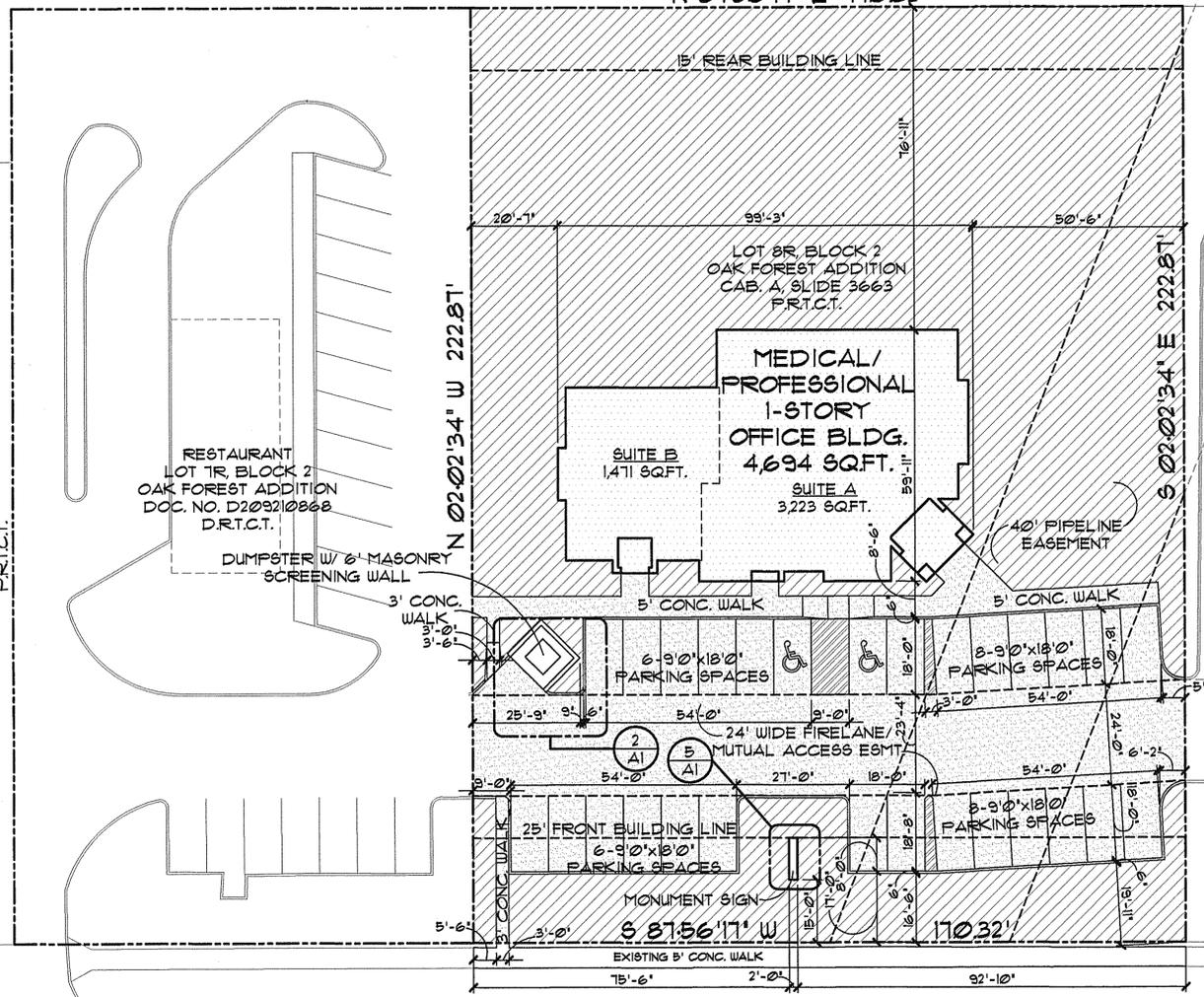
RESTAURANT
LOT 1R, BLOCK 2
OAK FOREST ADDITION
DOC. NO. D209210868
D.R.T.C.T.

DUMPSTER W/ 6' MASONRY
SCREENING WALL

MEDICAL/
PROFESSIONAL
1-STORY
OFFICE BLDG.
4,694 SQ.FT.
SUITE A
3,223 SQ.FT.

SUITE B
1,471 SQ.FT.

CONVENIENCE STORE
LOT 6R, BLOCK 2
OAK FOREST ADDITION
CAB. A, SLIDE 3663
P.R.T.C.T.



SITE DATA SUMMARY CHART	
NUMBER OF LOTS	1 LOT
LAND USE DESIGNATION	MEDICAL/PROFESSIONAL OFFICE
EXISTING ZONING	C-2 COMMUNITY BUSINESS
PROPOSED ZONING	C-2 COMMUNITY BUSINESS
PROPOSED USES	SUITE 'A' MEDICAL/PROF. OFFICE SUITE 'B' MEDICAL/PROF. OFFICE
GROSS ACREAGE	0.871 ACRES/37,964 SQ.FT.
NET ACREAGE	0.871 ACRES/37,964 SQ.FT.
PROPOSED BUILDING AREA	4,694 SQ.FT. (TOTAL A/C) 308 SQ.FT. (TOTAL PORCHES) 4,960 SQ.FT. (TOTAL COVERAGE)
SQUARE FOOTAGE BY USE	SUITE 'A' 3,223 SQ.FT. (MED./PROF.) SUITE 'B' 1,471 SQ.FT. (MED./PROF.)
PERCENTAGE OF SITE COVERAGE	(REQ.) / 13% (PROV.)
OPEN SPACE AREA	22,438 SQ.FT.
PERCENTAGE OF OPEN SPACE	59.1% COVERAGE
PERCENTAGE OF OUTSIDE STORAGE	0%
LOT WIDTH	170.32' (PROV.) / NONE REQ.
LOT AREA	37,964 SQ.FT. (PROV.) / NONE REQ.
STREET YARD AREA	14,493 SQ.FT.
MAXIMUM BUILDING HEIGHT	32'-9" MAX. BLDG. HGT./1 STORY
REQUIRED PARKING	(1 SPACE:200 SQ.FT.)
TOTAL PARKING REQUIRED	24 SPACES
PARKING PROVIDED	28 SPACES
REQUIRED LOADING SPACES	0 SPACES
PROVIDED LOADING SPACES	0 SPACES
LOT (IMPERVIOUS) COVERAGE	40.8% (15,526 SQ.FT.) / NONE REQ.
LANDSCAPE AREA	2,174 SQ.FT.(MIN.)/4,120 SQ.FT.(PROV.)

OWNER: 3XS, L.L.C.
105 OLYMPIA LANE
COFFELL, TX 75019

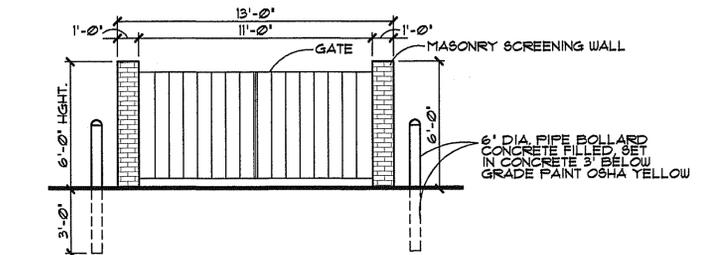
APPLICANT: HEB FAMILY DENTISTRY
DR. RUSHI MASTER, D.D.S.
1060 N. MAIN STREET, SUITE 103
EULESS, TX 76039
PHONE: (817) 857-1046
EMAIL: masterdds@yahoo.com

PREPARED BY: M. J. WRIGHT & ASSOCIATES, INC.
NATHAN HALLMARK, PROJECT MANAGER
8233 MID-CITIES BOULEVARD, SUITE A
NORTH RICHLAND HILLS, TEXAS 76182
PHONE (817)-268-5555 EXTENSION 5*
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EMAIL nathanh@mjwright.com

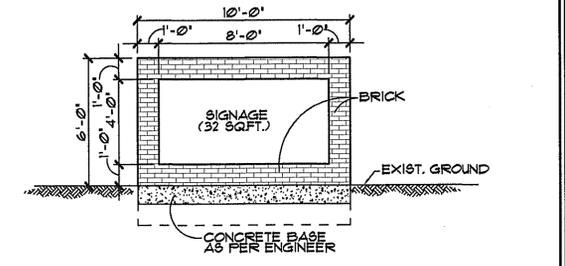
HARWOOD ROAD
(90' ROW, DOC. NO. D209210868, D.R.T.C.T.)



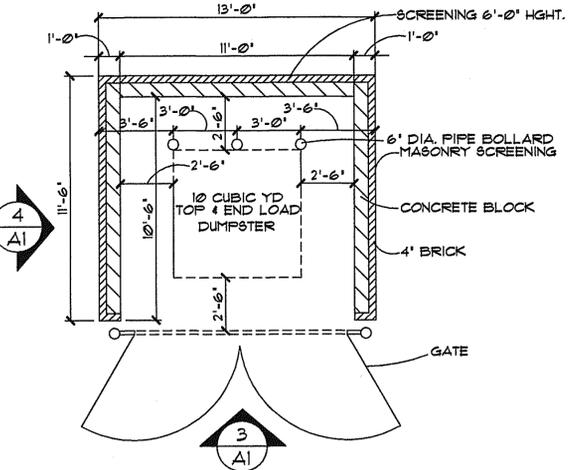
HATCH LEGEND	
LANDSCAPE AREA	[Hatch pattern]
10' TYPE 'F1' BUFFERYARD	[Hatch pattern]
IMPERVIOUS MATERIAL	[Hatch pattern]



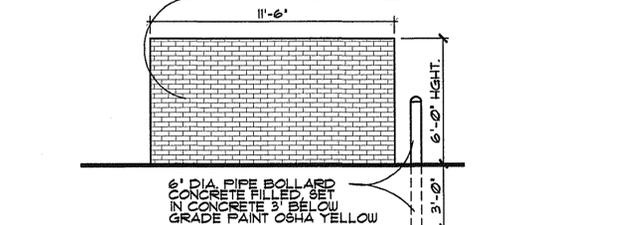
3 AI REFUSE CONTAINER ELEVATION (TYP.)
1/4" = 1'-0"



5 AI DIGITAL MONUMENT SIGN DETAIL
1/4" = 1'-0"



2 AI REFUSE CONTAINER SCREENING
1/4" = 1'-0"



4 AI REFUSE CONTAINER ELEVATION (TYP.)
1/4" = 1'-0"

ELECTRONIC VARIABLE MESSAGE SIGNS. ELECTRONIC VARIABLE MESSAGE SIGNS ARE ANY SIGN THAT UTILIZES CHANGEABLE COPY MESSAGES THROUGH INTERNAL ILLUMINATION THROUGH LIGHT EMITTING DIODES (LEDs) OR OTHER LIGHT SOURCES. ELECTRONIC VARIABLE MESSAGES SIGNS ARE INTENDED TO BE STATIC AND ARE SUBJECT TO THE SAME SIZE AND LOCATION RESTRICTIONS AS OTHER SIGNS REGULATED BY THIS ARTICLE. THE ELECTRONIC VARIABLE MESSAGE PORTION OF THE SIGN SHALL NOT EXCEED 40 PERCENT OF THE TOTAL SIGN FACE PERMITTED, NOR SHALL IT BE THE ONLY SIGN FACE. IN ADDITION, AN ELECTRONIC VARIABLE MESSAGE SIGN IS SUBJECT TO THE FOLLOWING RESTRICTIONS:

A. ANY CHANGE IN INFORMATION ON THE ELECTRONIC VARIABLE MESSAGE SIGN SHALL NOT PRODUCE THE ILLUSION OF MOVING OBJECTS, SCROLLING, BLINKING, FLASHING, EXPANDING OR CONTRACTING SHAPES, ROTATION OR ANY SIMILAR VISUAL EFFECT OF ANIMATION OR MOVEMENT.

B. ANY CHANGEABLE COPY ON THE ELECTRONIC VARIABLE MESSAGE SIGN SHALL NOT CHANGE MORE THAN EVERY 15 SECONDS. ANY CHANGES SHALL OCCUR WITH AN INSTANT ON/OFF CYCLE.

C. ELECTRONIC VARIABLE MESSAGE SIGNS ARE PERMITTED TO CONTAIN TIME AND TEMPERATURE DISPLAYS. THE TIME AND TEMPERATURE SHALL REMAIN STATIC FOR NOT LESS THAN THREE SECONDS.

**CITY APPROVAL BLOCK
SITE PLAN**

H-E-B FAMILY DENTISTRY OFFICE BLDG.
SITE & ZONING APPROVAL -
CASE NO.

LOT 6R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.871 ACRES (37,964 SQ.FT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JULY 1, 2013

APPROVED BY: _____

© copyright 2013 FOR REVIEW ONLY, NOT FOR BIDDING, PERMITOR CONSTRUCTION, MICHAEL J WRIGHT, ARCHITECT, TEXAS REG.#1130

**CITY APPROVAL BLOCK
SITE PLAN**

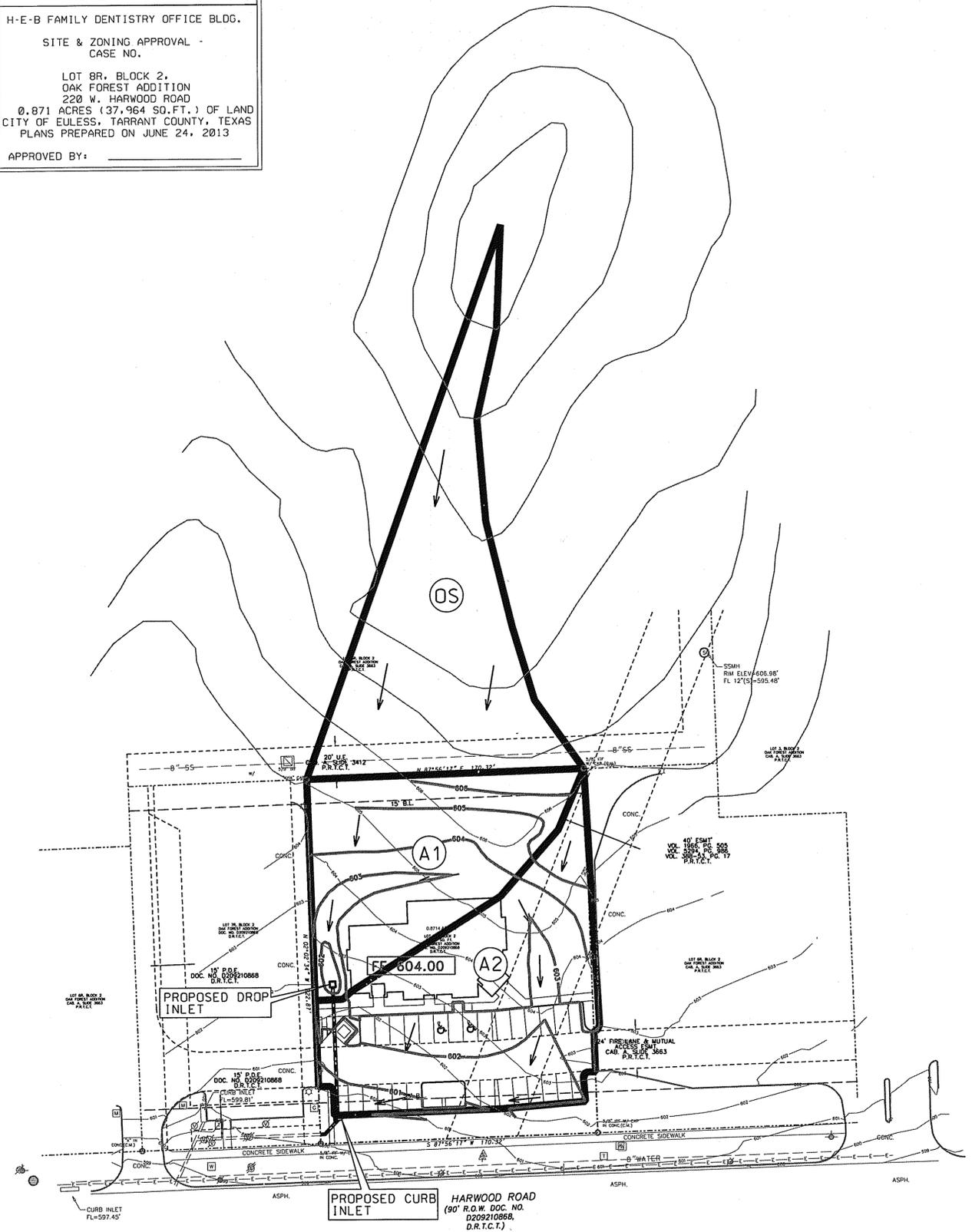
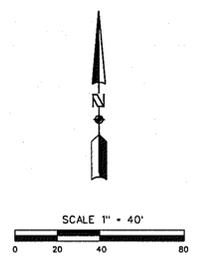
H-E-B FAMILY DENTISTRY OFFICE BLDG.
SITE & ZONING APPROVAL -
CASE NO.

LOT 8R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.871 ACRES (37,964 SQ.FT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JUNE 24, 2013

APPROVED BY: _____

LEGEND

- EXISTING ELEVATION CONTOUR
- PROPOSED ELEVATION CONTOUR
- FLOW DIRECTION
- DRAINAGE DIVIDE
- DRAINAGE AREA



POST-DEVELOPED SITE DRAINAGE DATA

MARK	AREA (ACRE)	C	T _c (MIN.)	I ₅ (IN/HR)	I ₂₅ (IN/HR)	I ₁₀₀ (IN/HR)	Q ₅ (CFS)	Q ₂₅ (CFS)	Q ₁₀₀ (CFS)	NOTES
A1	0.35	0.95	10	6.6	9.4	11.6	2.2	3.1	3.8	TO PROPOSED DROP INLET
A2	0.46	0.95	10	6.6	9.4	11.6	2.9	4.1	5.1	TO PROPOSED 5' CURB INLET
OS	0.48	0.95	10	6.6	9.4	11.6	3.0	4.3	5.3	SHEET FLOW TO AREA A1

- NOTES:**
1. RATIONAL METHOD CIA = Q
 2. DRAINAGE DESIGNED PER CITY OF EULESS UNIFIED DEVELOPMENT CODE.
 3. C FACTOR OF 0.95 USED FOR COMMERCIAL/INDUSTRIAL AREAS. C FACTOR OF 0.65 USED FOR RESIDENTIAL AREAS.

**LB HAMILTON
DUFFY, PC
CONSULTING**

CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
8241 MID-CITIES BLVD., SUITE 100 - NORTH RICHLAND HILLS, TEXAS 76182
PHONE (817) 268-0408 FAX (817) 284-8408

SITE CONSTRUCTION PLANS

HARWOOD MEDICAL OFFICE
LOT 8R, BLOCK 2, OAK FOREST ADDITION
CITY OF EULESS, TEXAS

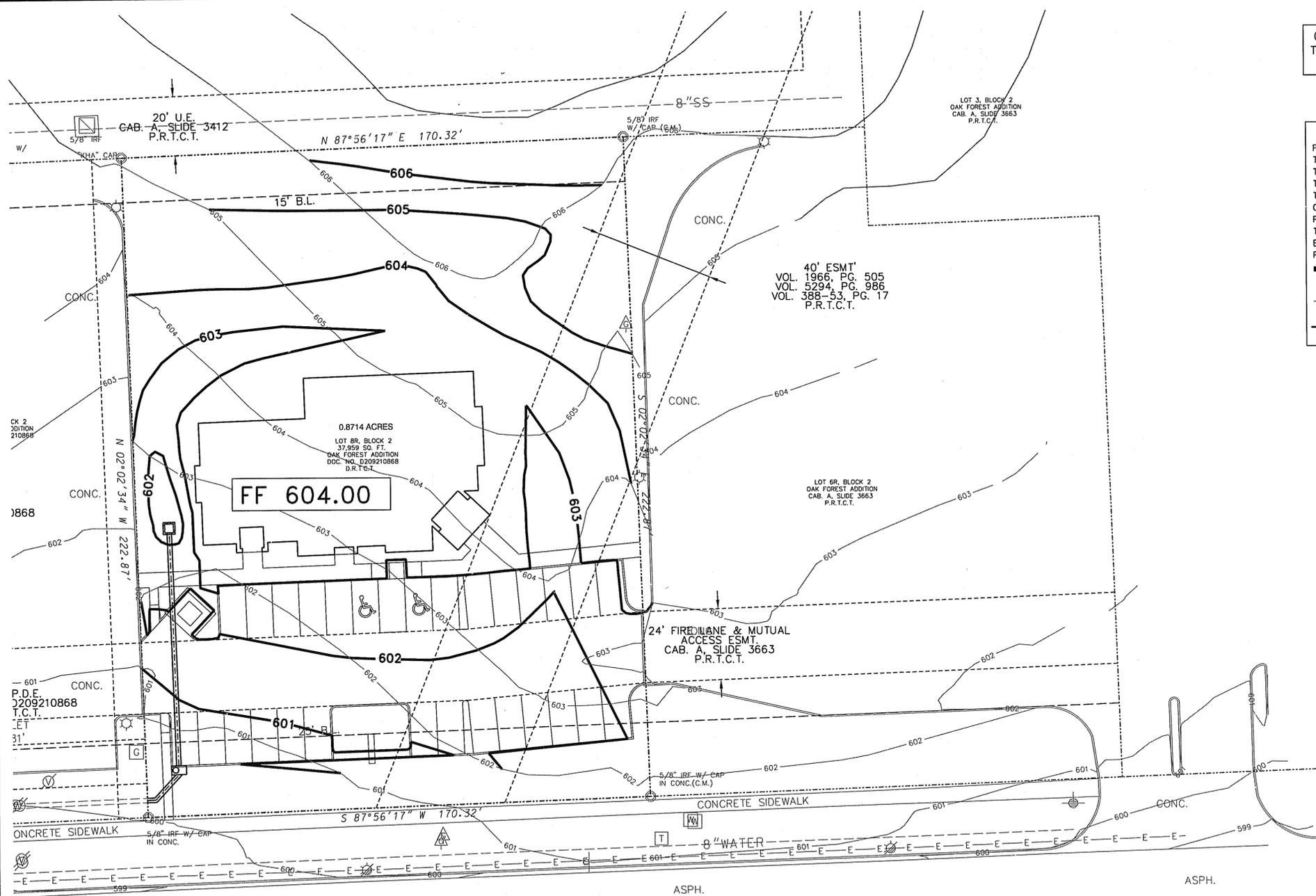
DRAINAGE AREA MAP

**PRELIMINARY
FOR REVIEW ONLY**

THESE DOCUMENTS ARE FOR DESIGN REVIEW
AND NOT INTENDED FOR CONSTRUCTION
OR UNDER SUPERVISION OF
PREPARED BY, OR UNDER SUPERVISION OF:

KEITH M. HAMILTON 87384 #DATE
PE NO. DATE

NO.	REVISION	BY	DATE	JOB NO.	DATE	DESIGNED	DRAWN	CHECKED	TEXAS REGISTERED ENGINEER NUMBER
				024-089	6/27/2013	K.M.H.	M.J.C.	K.M.H.	5560

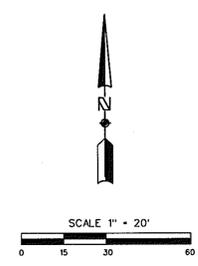


CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF EULESS STANDARD DETAILS.

SITE GRADING LEGEND

- FF = FINISHED FLOOR
- TP = TOP PAVEMENT
- TI = TOP INLET
- TG = TOP GRATE INLET
- TC = TOP CURB
- GT = GUTTER
- FG = FINISHED GRADE
- TW = TOP WALL
- BW = BOTTOM WALL
- FL = FLOW LINE
- ➔ = FLOW DIRECTION

— — — — — EXISTING ELEVATION CONTOUR
 - - - - - PROPOSED ELEVATION CONTOUR



ROUGH GRADING SHALL BE WITHIN 0.1 FT + OR - OF FINISHED GRADES SHOWN. UNDER PAVEMENT AND/OR BUILDING FINISHED FLOORS, FINISHED GRADES SHALL BE CONSTRUCTED TO THE TOP OF SUBGRADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ADA ACCESSIBILITY TO ALL DOORWAYS, ETC. IF ANY GRADES AS SHOWN ON THE PLANS CONFLICT WITH TAS/ADA ACCESSIBILITY GUIDELINES, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE ENGINEER FOR RECONCILIATION.

!!! CRITICAL !!!
 LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON PUBLIC RECORDS. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

!!!IMPORTANT!!!
 CONTOURS REPRESENT FINISHED GRADES. ALL PAVING SHALL BE EXCAVATED TO SUBGRADE PER TYPICAL PAVING SECTIONS (SEE DETAILS).

! CONTRACTOR NOTICE !
 ALL SIDEWALKS, AND PAVED AREAS, REQUIRING ADA ACCESS SHALL BE CONSTRUCTED WITH 5% (MAX.) SLOPE AND 2.0% (MAX.) CROSS SLOPE IN ORDER TO ENSURE A.D.A. ACCESS TO ALL ENTRANCES. IF ANY GRADES AND/OR CONTOURS SHOWN ON THIS PLAN CONFLICT WITH THESE PARAMETERS, THE CONTRACTOR SHALL REPORT SUCH DISCREPANCIES (IN WRITING) FOR RECONCILIATION BEFORE CONSTRUCTION COMMENCES.

BENCHMARK:
 CITY OF EULESS SURVEY MONUMENT E02. 3-1/4" DOMED BRASS DISK SET IN CONCRETE WITH 1/2" CAPPED STEEL ROD STAMPED "MOAK SURV INC" FOR A SUB-SURFACE MONUMENT AND WITNESSED BY AN ORANGE FIBERGLASS STAKE LOCATED NORTH 69° 49'29" EAST 57.49' FROM A MANHOLE IN THE CENTER OF SOUTH MAIN STREET APPROX. 45' SOUTH OF SOUTH PIPELINE ROAD (ELEV. + 539.29')

HARWOOD ROAD
 (90' R.O.W. DOC. NO. D209210868, D.R.T.C.T.)

!! FINAL GRADING NOTE !!
 FINISHED GRADES SHOWN HEREON REPRESENT TOP OF PAVING, TOP OF SOD AND/OR LANDSCAPING, UNLESS NOTED OTHERWISE.
 UNDER NO CIRCUMSTANCES SHALL SOD OR LANDSCAPING BE PLACED ABOVE THE BRICK LEDGE. FINAL GRADE SHALL ENSURE POSITIVE FLOW AWAY FROM THE BUILDING AND OTHER STRUCTURES.

CONSTRUCTION NOTES:
 AREAS DISTURBED BY CONSTRUCTION WILL BE FULLY SODDED WITH NATIVE BERMUDA GRASS OR HYDROMULCHED AS DIRECTED BY ENGINEER.
 ALL CONCRETE INTERFACES AND CHANGES IN CONCRETE THICKNESS WILL HAVE AN EXPANSION JOINT FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
 ALL SIDEWALKS SHALL CONFORM TO A.D.A. REQUIREMENTS.
 ALL SIDEWALKS SHALL BE BACKFILLED TO FINISHED GRADE SO AS NOT TO IMPEDE DRAINAGE.
 ALL EXISTING/NEW CONCRETE INTERFACES SHALL BE PROVIDED WITH DOWELED EXPANSION JOINT CONSISTING OF PREMOLDED EXPANSION JOINT MATERIAL AND SEALANT.
 MATCH ALL WATER METERS, SANITARY SEWER CLEANOUTS, ETC. WITH FINISHED GRADE.

GENERAL NOTES FOR GRADING

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES THAT MAY CONFLICT WITH PROPOSED LAYOUT.
2. THE TOP FOUR (4") INCHES OF TOP SOIL SHALL BE REMOVED FROM SITE AND STOCKPILED FOR LANDSCAPE USE. ALL CUT OR FILL SLOPES TO BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO, TRENCH BACKFILL, SIDE SLOPES, FENCES, IRRIGATION SYSTEMS, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS, ROADWAYS, ETC.
4. ALL FILL AND STABILIZATION PROCEDURES SHALL BE PER GEOTECHNICAL REPORT. AT MINIMUM, SELECT FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. FIELD DENSITY TESTS SHALL BE PERFORMED BY GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR.
5. DRAINAGE SHALL NOT BE DIRECTED TOWARD THE BUILDING PAD. PROVIDE A MINIMUM OF 1% SLOPE AROUND BUILDING PAD.
6. SEE PAVING PLAN FOR CONCRETE SPECIFICATIONS AND JOINT LAYOUT.
7. CONTRACTOR SHALL FURNISH ALL CONSTRUCTION STAKING.
8. ALL PARKING LOT PAVING SHALL BE REINFORCED PER PAVING PLAN.
9. ANY SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF EULESS STANDARDS.
10. TOPOGRAPHICAL SURVEY INFORMATION OBTAINED FROM SPRY SURVEYORS.
11. CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL T.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

CITY APPROVAL BLOCK SITE PLAN
 H-E-B FAMILY DENTISTRY OFFICE BLDG.
 SITE & ZONING APPROVAL - CASE NO.
 LOT 8R, BLOCK 2, OAK FOREST ADDITION
 220 W. HARWOOD ROAD
 0.871 ACRES (37,964 SQ.FT.) OF LAND
 CITY OF EULESS, TARRANT COUNTY, TEXAS
 PLANS PREPARED ON JUNE 24, 2013
 APPROVED BY: _____

HAMILTON DUFFY, PC
 CONSULTING
 CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
 8941 MID-CITIES BLVD., SUITE 100 - NORTH RICHLAND HILLS, TEXAS 76881
 PHONE (817) 268-0408 FAX (817) 284-8408

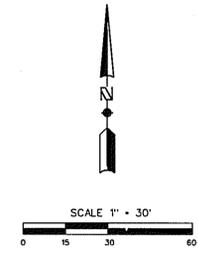
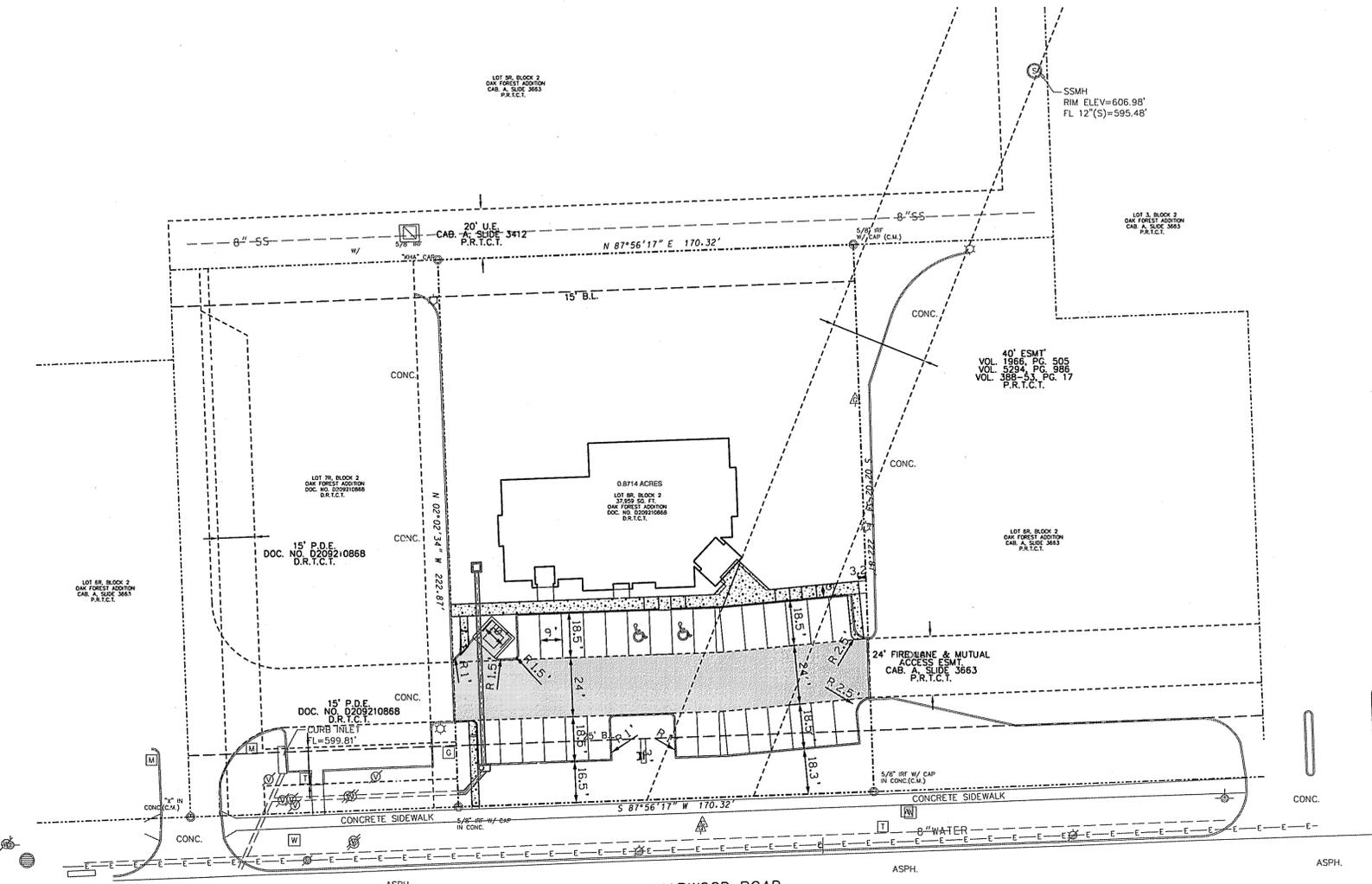
SITE CONSTRUCTION PLANS
 HARWOOD MEDICAL OFFICE
 LOT 8R, BLOCK 2, OAK FOREST ADDITION
 CITY OF EULESS, TEXAS
 GRADING PLAN

PRELIMINARY FOR REVIEW ONLY
 THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITS. NO SUPERVISION OF FIELD WORK SHALL BE PROVIDED BY THE ENGINEER.
 KEITH M. HAMILTON 87384 \$DATE\$
 PE NO. DATE

NO.	REVISION	DATE	DESIGNED	DRAWN	CHECKED	TEXAS REGISTERED ENGINEERING FIRM NUMBER
024-089 <td></td> <td>6/27/2013</td> <td>K.M.H.</td> <td>M.J.C.</td> <td>K.M.H.</td> <td>15000</td>		6/27/2013	K.M.H.	M.J.C.	K.M.H.	15000

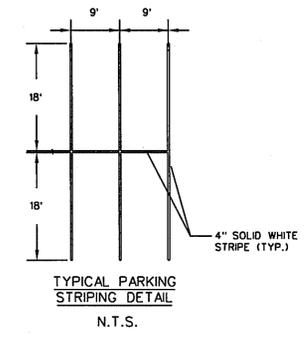
CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF EULESS STANDARD DETAILS.

HAMILTON
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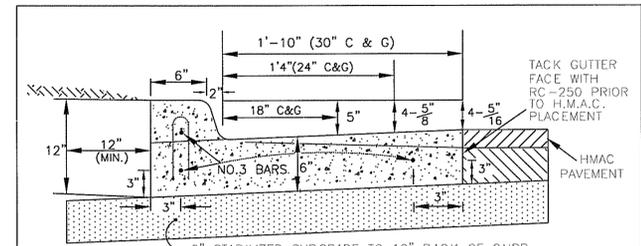


PAVING LEGEND

	8" THICK CONCRETE PAVEMENT W/ #4 BARS @ 18" O.C.E.W. (FIRE LANE & DUMPSTER AREA)
	5" THICK CONCRETE PAVEMENT W/ #4 BARS @ 18" O.C.E.W. (PEDESTRIAN PARKING)
	4" THICK CONCRETE SIDEWALK W/ #3 BARS @ 18" O.C.E.W.

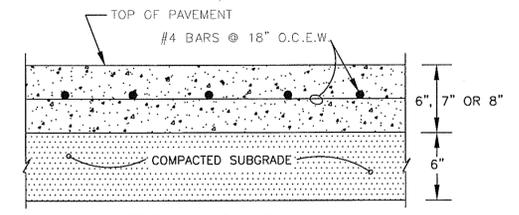


REFERENCE ARCHITECTURAL SITE PLAN AND/OR LANDSCAPE PLAN FOR SLEEVE LOCATIONS PRIOR TO POURING CONCRETE



TYPICAL 6" CURB & GUTTER SECTION (EXISTING STREETS ONLY) NO SCALE

- IN THOSE AREAS SHOWN ON THE PLAN WHERE THE DRAINAGE PATTERN IS AWAY FROM THE CURB, THE GUTTER SECTION SHALL BE SLOPED AWAY FROM THE CURB AT A GRADE TO MATCH THE SLOPE OF THE PROPOSED PAVEMENT SECTION.
- PREFORMED EXPANSION JOINTS SHALL BE INSTALLED AT 120 FEET INTERVALS (MAXIMUM). REINFORCING STEEL SHALL EXTEND THROUGH THE JOINTS.
- MARKED JOINTS OR DUMMY JOINTS SHALL BE SPACED 5'-0" ON CENTER.
- CONCRETE SHALL BE CLASS "A" (4200 PSI @ 28 DAYS).
- TYPE 2 WHITE PIGMENTED CURING COMPOUND REQUIRED.
- FOR CONCRETE PAVEMENT WITH INTEGRAL CURB, INSTALL NO. 3 HAIRPIN BARS AT 24" O.C. TO SUPPORT CONTINUOUS NO. 3 LONGITUDINAL BAR.



- NOTES:**
- SEE JOINT DETAILS ON SHEET JT-1.
 - PRIOR TO START OF CONSTRUCTION ON THE CONCRETE PAVEMENT, THE CONTRACTOR SHALL FURNISH TO THE ENGINEER A DETAILED JOINT LAYOUT PLAN FOR APPROVAL.
 - MINIMAL PAVEMENT SECTIONS ARE USED IN THESE DETAILS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF AN ADEQUATE PAVEMENT SECTION.

STREET PAVING DETAILS
CITY OF EULESS
COE-PS-1 1/01

GENERAL NOTES FOR PAVING

- CONCRETE SHALL BE 4,200 PSI AT 28 DAYS. CONCRETE FOR SIDEWALKS SHALL BE 3,000 PSI AT 28 DAYS. TWO TEST CYLINDERS SHALL BE TAKEN BY AN APPROVED TESTING LABORATORY EACH DAY CONCRETE IS POURED. SEVEN DAY AND TWENTY-EIGHT DAY TEST RESULTS SHALL BE FURNISHED TO THE OWNER AND ENGINEER. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR.
- SAW JOINTS SHALL BE CUT ON MAXIMUM FIFTEEN (15') FOOT CENTERS WITHIN 24 HOURS FOLLOWING EACH POUR. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF INTENDED JOINT LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SIX (6") INCH CURB SHALL BE INSTALLED INTEGRAL WITH CONCRETE PAVEMENT. SAW JOINTS SHALL EXTEND THROUGH THE CURB.
- CONTRACTOR SHALL FURNISH ALL CONSTRUCTION STAKING.
- PEDESTRIAN PARKING LOT PAVING SHALL BE 5" THICK REINFORCED CONCRETE W/ #4 BARS AT 18" CTRS. MEDIUM-DUTY PARKING LOT (REAR) SHALL BE 6" THICK. FIRE LANES AND DUMPSTER AREAS TO BE 8" THICK W/ #4 BARS AT 18" CTRS. ON SUBGRADE COMPACTED TO 95% STANDARD DENSITY.
- SEE GRADING PLAN FOR FINISHED PAVEMENT ELEVATIONS.
- CONTRACTOR SHALL PAINT & STRIPE ALL PARKING AS SHOWN. CONTRACTOR SHALL ALSO PROVIDE CONCRETE RAMPS, SIGNS, AND CURB STOPS AS SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF EULESS STANDARDS.
- ONE LANE OF TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- WITHIN EMERGENCY ACCESS EASEMENTS (FIRE LANES) THE ROADWAY SURFACE, SUBGRADE, MARKINGS AND SIGNAGE SHALL BE MAINTAINED AT ALL TIMES TO ALLOW FOR THE CLEAR PASSAGE OF EMERGENCY VEHICLES. CLEAR PASSAGE SHALL INCLUDE BOTH HORIZONTAL AND VERTICAL WIDTHS ACCORDING TO CLEARANCES ESTABLISHED IN THE FIRE MARSHALL'S POLICY STATEMENT.

CITY APPROVAL BLOCK SITE PLAN
H-E-B FAMILY DENTISTRY OFFICE BLDG.
SITE & ZONING APPROVAL - CASE NO.
LOT 8R, BLOCK 2, OAK FOREST ADDITION, 220 W. HARWOOD ROAD, 0.871 ACRES (37,964 SQ.FT.) OF LAND CITY OF EULESS, TARRANT COUNTY, TEXAS PLANS PREPARED ON JUNE 24, 2013
APPROVED BY: _____

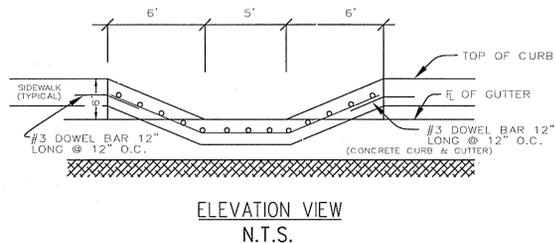
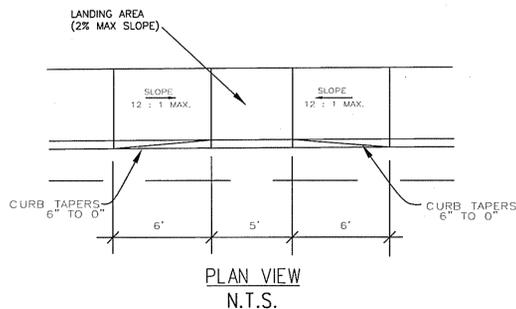
SITE CONSTRUCTION PLANS
HARWOOD MEDICAL OFFICE
LOT 8R, BLOCK 2, OAK FOREST ADDITION
CITY OF EULESS, TEXAS
SITE LAYOUT AND PAVING PLAN

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NO.	REVISION	DATE	BY	DATE	JOB
024-089		6/21/2013	DESIGNED	K.M.H.	
			DRAWN	M.J.C.	
			CHECKED	K.M.H.	
			TESTS REVIEWED	K.M.H.	
			ENGINEERING FIRM NUMBER	8-5560	

SHEET C1.03

CURB RAMPS NOT IN THE PUBLIC RIGHT-OF-WAY:
 ALL CURB RAMPS THAT ARE CONSTRUCTED, RENOVATED, MODIFIED, OR ALTERED, BUT ARE NOT IN THE PUBLIC ROW MUST COMPLY WITH 2012 TAS
 AND ANY CURB RAMPS PROVIDED SHALL BE IN COMPLIANCE WITH 2012 TAS SECTION 406.



A.D.A. RAMP DETAIL
N.T.S.

**CITY APPROVAL BLOCK
SITE PLAN**

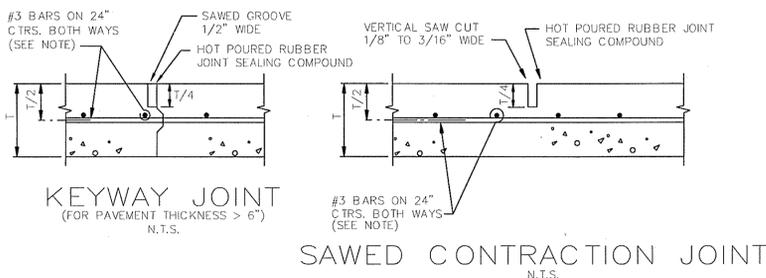
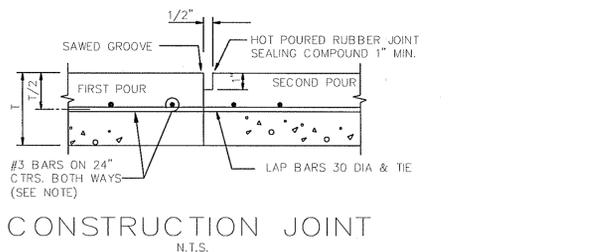
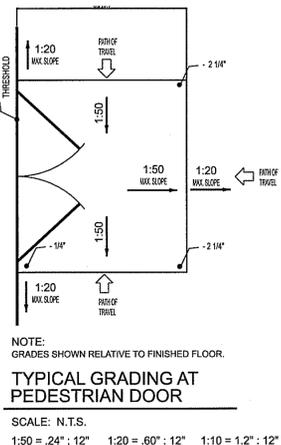
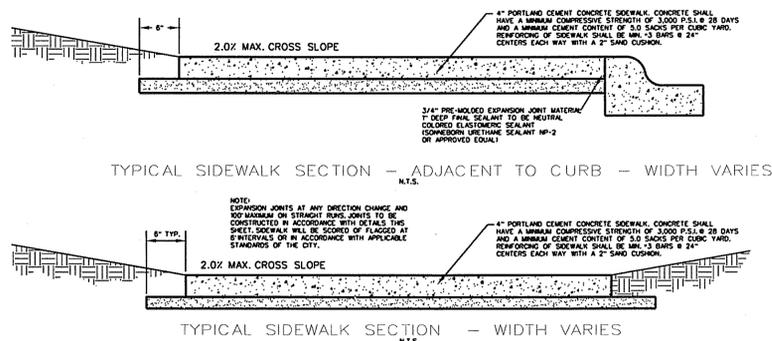
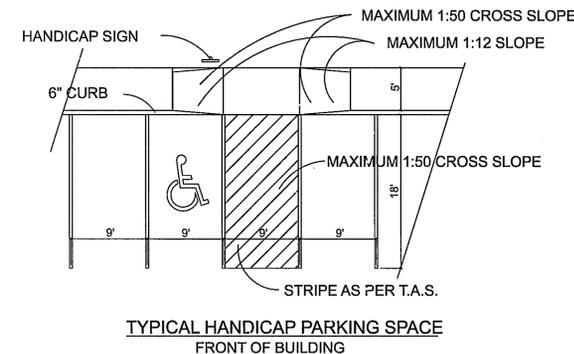
H-E-B FAMILY DENTISTRY OFFICE BLDG.

SITE & ZONING APPROVAL -
CASE NO.

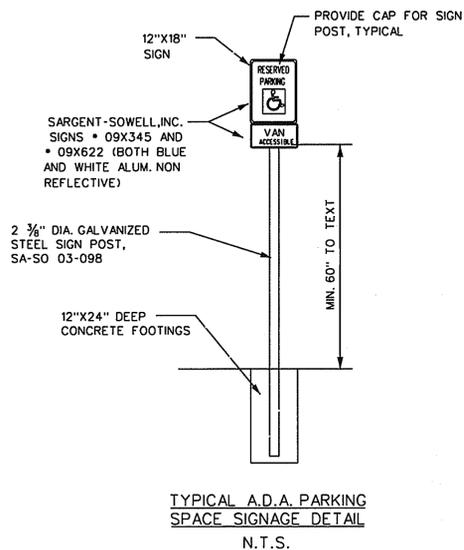
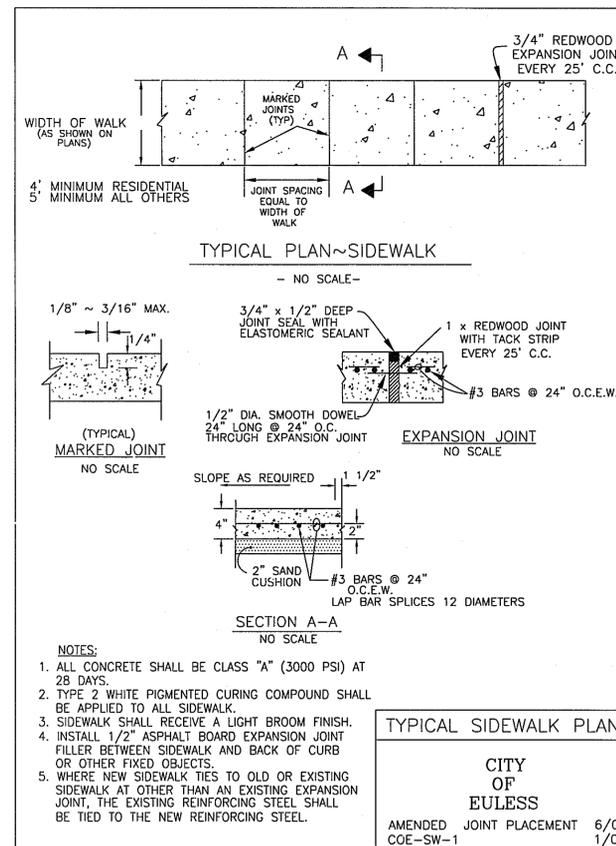
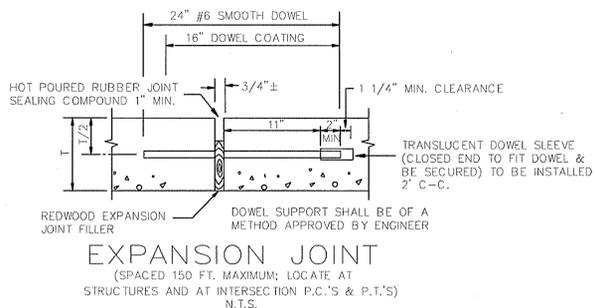
LOT 8R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.871 ACRES (37,964 SQ.FT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JUNE 24, 2013

APPROVED BY: _____

CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL
 TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE
 WITH THE CITY OF EULESS STANDARD DETAILS.



NOTE:
ALTERNATE REINFORCEMENT
#4 BARS ON 30" CTRS.
BOTH WAYS.



**HAMILTON
DUFFY, PC**
CONSULTING

CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
 8241 MID-CITIES BLVD., SUITE 100 - NORTH RICHLAND HILLS, TEXAS 76182
 PHONE (817) 268-0408 FAX (817) 284-8408

SITE CONSTRUCTION PLANS
 HARWOOD MEDICAL OFFICE
 LOT 8R, BLOCK 2, OAK FOREST ADDITION
 CITY OF EULESS, TEXAS

PAVING DETAILS

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 KEITH M. HAMILTON 87384 \$DATE\$
 PE NO. DATE

NO.	REVISION	DATE	BY	DATE	JOB
		06/27/2013			064-089
		DESIGNED	K.M.H.		
		DRAWN	M.J.C.		
		CHECKED	K.M.H.		
		SCALE			
		PROJECT NUMBER			
		FORM NUMBER			F-5560

**CITY APPROVAL BLOCK
SITE PLAN**

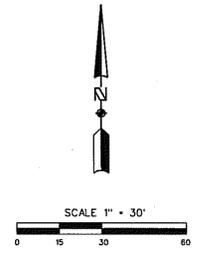
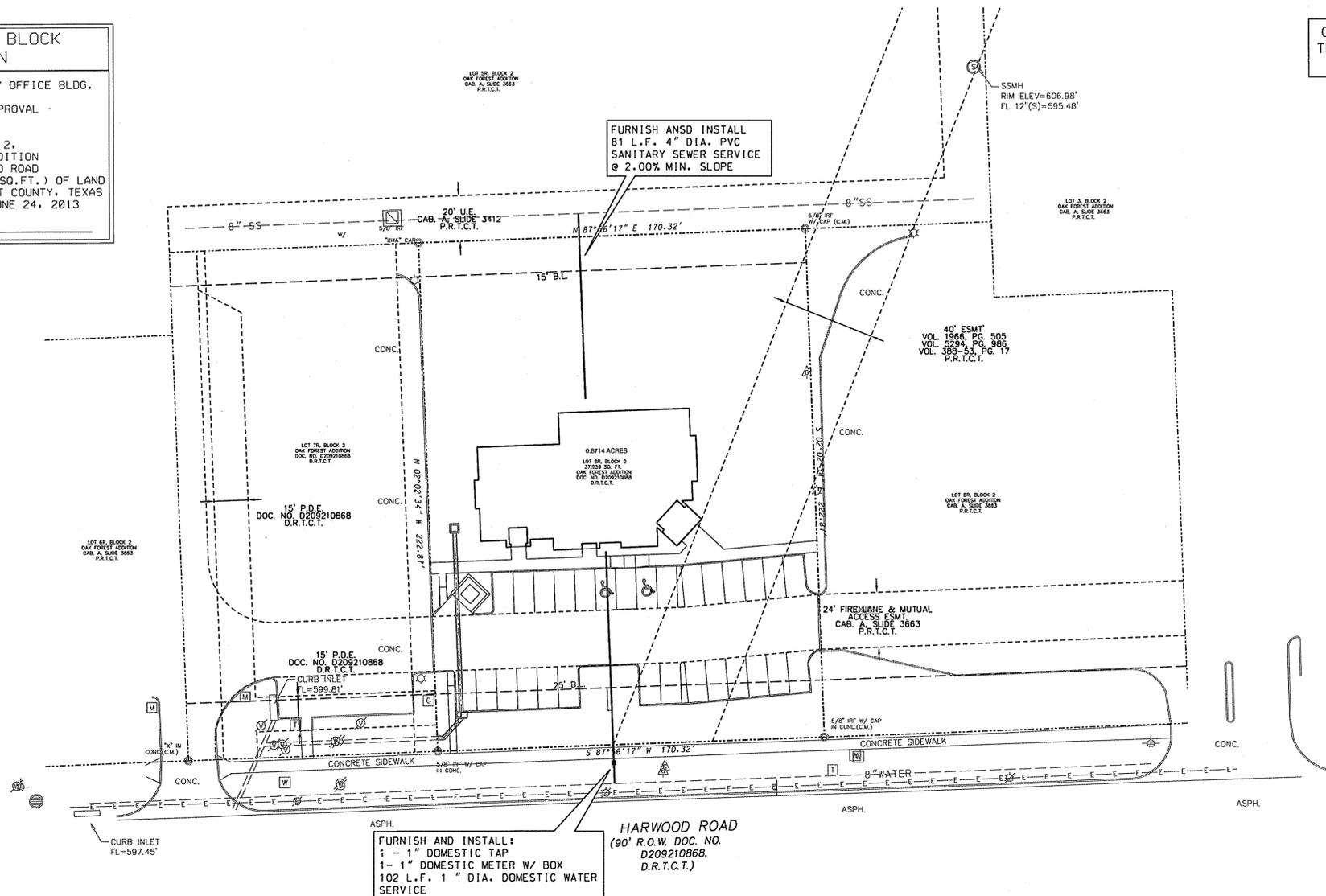
H-E-B FAMILY DENTISTRY OFFICE BLDG.

SITE & ZONING APPROVAL -
CASE NO.

LOT 8R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.871 ACRES (37,964 SQ.FT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JUNE 24, 2013

APPROVED BY: _____

CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF EULESS STANDARD DETAILS.



ALL EXCAVATION, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUB PART P, PG. 128-137, AND ANY AMENDMENTS THERETO.

!!! CRITICAL !!!
LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON PUBLIC RECORDS. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

UTILITY RELOCATION NOTE:
IF ANY EXISTING UTILITY POLES, POWER POLES, GUY WIRES, TELEPHONE UTILITIES, ETC. ARE FOUND TO BE IN CONFLICT WITH THESE CONSTRUCTION PLANS, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AND COORDINATE THE RELOCATION OF ANY AND/OR ALL SUCH UTILITIES (NO SPECIAL PAY).

GENERAL NOTES FOR SANITARY SEWER

- ALL PROPOSED SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- WHEN A PROPOSED SEWER LINE CROSSES AN EXISTING WATER LINE, THE CONTRACTOR SHALL INSTALL ONE 20 FOOT JOINT OF DR-18 (C-900) ON THE SEWER LINE, CENTERED ON THE WATER LINE, USING SDR-26 TO C-900 ADAPTORS. NO SPECIAL PAY WILL BE PERMITTED FOR THIS ITEM.
- ALL PROPOSED SEWER LINES ARE TO BE LOCATED AS SHOWN ON THE PLANS. ALL LINES LOCATED WITHIN AREAS OF PAVEMENT SHALL HAVE THE TOP 8" OF BACKFILL REPLACED WITH CRUSHED STONE INCLUDING SERVICES.
- ALL SEWER LINES SHALL BE INSTALLED PER CITY OF EULESS STANDARDS.
- ALL WATER MAIN CLEARANCE FOR PARALLEL SANITARY SEWER MAIN SHALL BE A MINIMUM SEPARATION OF 3 FEET VERTICAL AND 9 FEET HORIZONTAL.

GENERAL NOTES FOR SITE IMPROVEMENTS

- ELECTRIC SERVICE TO AND WITHIN THIS SITE SHALL BE UNDERGROUND.

GENERAL NOTES FOR WATER IMPROVEMENTS

- ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO AWWA STANDARD C900 DR-14 OR POLYETHYLENE (PE) PRESSURE PIPE AWWA C-906 DR 9 (200 PSI) PIPE COLOR CODED BLUE OUTSIDE FOR WATER LINE, WITH NSF SEAL PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE NCTCOG STD. SPECS. WATER MAINS TO HAVE A MINIMUM OF 48" COVER TO TOP OF PIPE AS MEASURED FROM THE TOP OF PIPE TO THE EXISTING GROUND OR PROPOSED FINISHED GRADE, WHICHEVER IS GREATER. SERVICE LINE CONNECTORS SHALL BE COMPRESSION-TYPE WITH STAINLESS STEEL TUBE LINERS.
- ALL WATER METERS SHALL BE SIZED AND INSTALLED BY CITY PERSONNEL.
- ALL WATER LINES TO BE ENCASED IN SAND, UNLESS SPECIFIED OTHERWISE AND DETAILED. BACKFILL SHALL BE SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL SERVICES TO METER TO BE 1" DIAMETER, TYPE K COPPER AS SPECIFIED IN ASTM B88 UNLESS NOTED OTHERWISE.
- UTILITY CONTRACTOR TO FURNISH AND INSTALL WATER METER BOXES AFTER THE PAVING CONTRACTOR HAS BEEN COMPLETED.
- ALL FIRE HYDRANT ASSEMBLIES TO BE EQUIPPED WITH A 6" GATE VALVE AND BOX. ALL VALVES AND FIRE HYDRANTS TO BE PER CITY SPECIFICATIONS.
- ANY WATER VALVES LOCATED WITHIN PAVEMENT AREAS SHALL BE ADJUSTED TO FINAL GRADE BY THE PAVING CONTRACTOR.
- ALL PROPOSED WATER LINES ARE TO BE LOCATED AS SHOWN ON THE PLANS. ALL LINES LOCATED WITHIN AREAS OF PAVEMENT SHALL HAVE THE TOP 8" OF BACKFILL REPLACED WITH CRUSHED STONE INCLUDING SERVICES.
- WATER LINES WILL BE INSTALLED AS SHOWN ON THE PLANS. HOWEVER, FIELD ADJUSTMENTS APPROVED BY THE INSPECTOR OR ENGINEER MAY BE MADE TO LESSEN DAMAGE TO THE ROAD PAVEMENT OR WHEN OTHER UTILITY LOCATIONS, TREES, OR STRUCTURES WARRANT SUCH AN ADJUSTMENT.
- ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THESE PLANS, THE RULES, REGULATIONS, POLICIES AND PROCEDURES OF THE CITY OF EULESS.
- ALL PVC PIPE AND APPURTENANCES (FITTINGS, VALVES, NIPPLES, ETC.) 3" DIA. AND SMALLER SHALL BE CONSTRUCTED AS SHOWN.
- ALL TAPPING SLEEVES SHALL BE FULL BODIED CAST IRON.

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SITE CONSTRUCTION PLANS
HARWOOD MEDICAL OFFICE
LOT 8R, BLOCK 2, OAK FOREST ADDITION
CITY OF EULESS, TEXAS
WATER AND SANITARY SEWER PLAN

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KEITH M. HAMILTON 87384 DATE
PE NO. _____

JOB NO.	DATE	DESIGNED	DRAWN	CHECKED	SCALE	DATE
024-089	6/27/2013	K.M.H.	M.J.C.	K.M.H.		

SHEET
C1.04

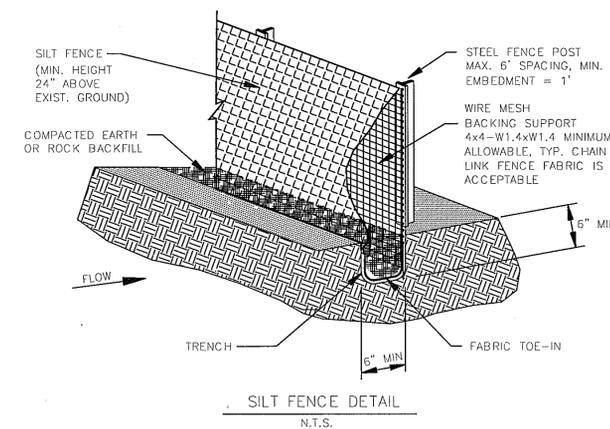
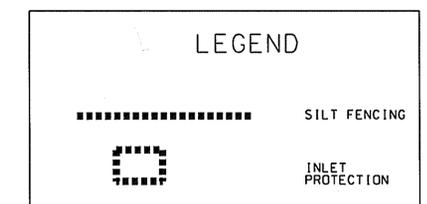
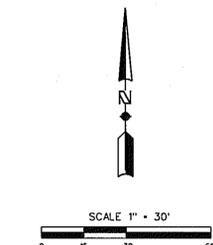
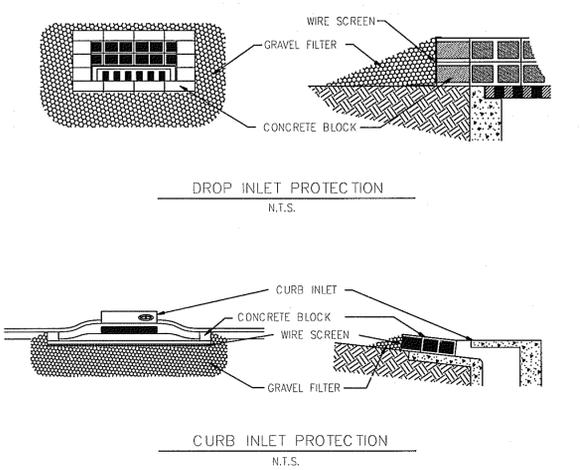
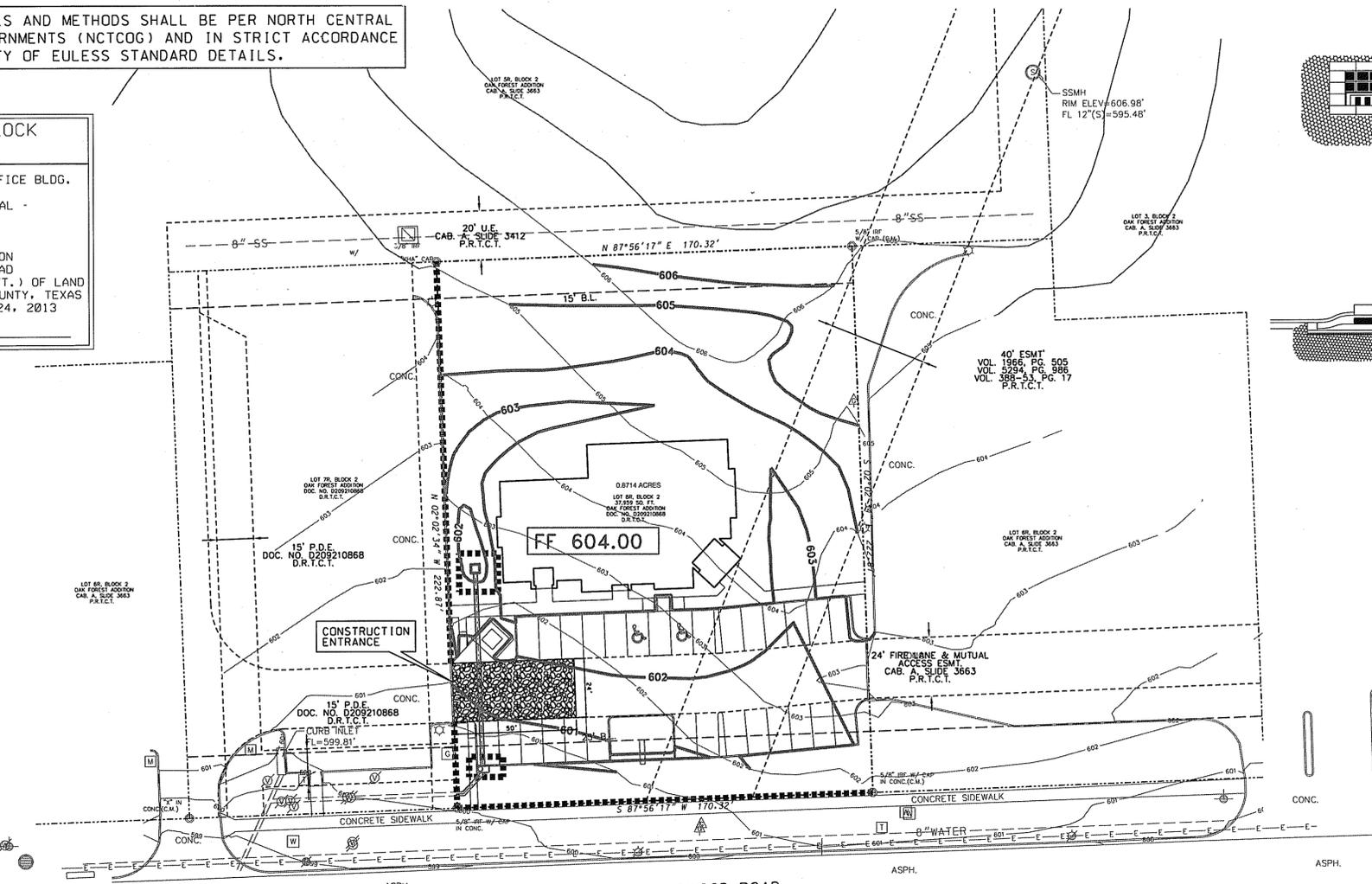
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CITY APPROVAL BLOCK SITE PLAN

H-E-B FAMILY DENTISTRY OFFICE BLDG.
SITE & ZONING APPROVAL - CASE NO.

LOT 8R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.871 ACRES (37,964 SQ.FT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JUNE 24, 2013

APPROVED BY:



UTILITY RELOCATION NOTE:
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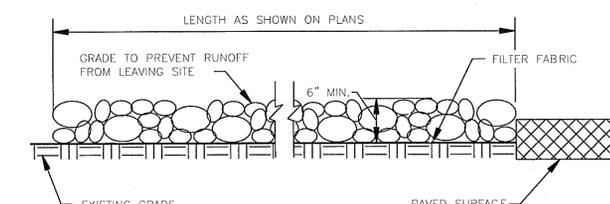
!!! CRITICAL !!!
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GENERAL NOTES

- ALL SITES GREATER THAN 1 ACRE MUST HAVE A VALID TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT ISSUED BY THE TCEQ AS DEFINED IN TPDES GENERAL PERMIT NO. TXR150000.
- FOR SITES OF 5 ACRES OR GREATER, A TPDES NOTICE OF INTENT (NOI) FORM MUST BE SUBMITTED TO THE TCEQ AT LEAST TWO (2) DAYS PRIOR TO COMMENCING WORK. FOR SITES GREATER THAN ONE (1) ACRES BUT LESS THAN FIVE (5) ACRES, A TCEQ CONSTRUCTION SITE NOTICE MUST BE COMPLETED. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE COMPLETED PRIOR TO SUBMITTAL OF THE NOI OR SITE NOTICE. THE SIGNED AND COMPLETED SWPPP MUST BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
- EACH PRIME CONTRACTOR SHALL OBTAIN AND SUBMIT TO OWNER/ENGINEER A POLLUTION PREVENTION CERTIFICATION FROM EACH SUBCONTRACTOR WHOSE WORK IMPACTS THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO THE PERFORMANCE OF ANY WORK BY SAID SUBCONTRACTOR. THESE CERTIFICATIONS SHALL BECOME A PART OF THE STORM WATER POLLUTION PREVENTION PLAN.
- CONTRACTOR SHALL FURNISH AND INSTALL EROSION CONTROL MEASURES SHOWN IMMEDIATELY UPON ENTERING SITE. REPAIRS OR MODIFICATIONS TO THE MEASURES WILL BE MADE BY THE CONTRACTOR IF THE CONTROL MEASURES PROVE INEFFECTIVE OR IF ADDITIONAL CONTROL MEASURES ARE NECESSARY.
- AT A MINIMUM, PERIMETER CONTROLS SUCH AS SILT FENCE OR STRAW BALES SHALL BE INSTALLED AT ALL DOWN SLOPE BOUNDARIES AND AS WARRANTED WHERE PAVEMENT REMOVAL, UTILITY CONSTRUCTION, GRADING, OR OTHER CONSTRUCTION ACTIVITIES ARE TO BE PERFORMED. CONTRACTOR SHALL AT ALL TIMES TAKE SUCH MEASURES AS NECESSARY TO MINIMIZE OFF-SITE TRACKING OR TRANSPORT OF SEDIMENT AND DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO ADJACENT PROPERTY OR TO RECEIVING WATERS CAUSED BY IMPROPERLY INSTALLED OR POORLY MAINTAINED EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY SILT DEPOSITS OR TRACKING BEYOND THE LIMITS OF CONSTRUCTION CAUSED BY HIS OPERATIONS AND/OR FAILURE OF THE EROSION CONTROL MEASURES.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND SEDIMENT FROM EROSION CONTROL MEASURES WHEN IT REACHES A DEPTH OF SIX (6) INCHES OR IMPAIRS THE EFFECTIVENESS OF THE MEASURES.
- THE OWNER'S REPRESENTATIVE WILL INSPECT THE PROJECT AT A MINIMUM OF EVERY SEVEN DAYS ADN AFTER EVERY RAINFALL OF 0.5 INCHES OR GREATER TO DETERMINE THE INTEGRITY AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES. A WRITTEN INSPECTION REPORT WILL BE FILED WITH THE POLLUTION PREVENTION PLAN. THIS INSPECTION DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES OR HIS DUTY TO COMPLY WITH THE INTENT AND CONDITIONS OF THE NPDES GENERAL PERMIT.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF STORM DRAIN INLETS USING STRAW BALE CHECKS OR OTHER MEASURES AS SPECIFIED. WHERE INLETS ARE BEING REMOVED OR INSTALLED, THE CONTRACTOR SHALL PREVENT MATERIAL FROM ENTERING THE STORM DRAIN SYSTEM.
- ALL OFF-SITE STOCKPILES SOILS WILL BE SURROUNDED BY A STRAW BALE DIKE, SILT FENCE, SEDIMENT CONTROL SWALE, OR EQUIVALENT MEASURE, AS APPROVED BY ENGINEER, TO PROPERLY CONTROL SEDIMENT RUNOFF.
- THE CONTRACTOR SHALL STABILIZE ANY AREA WHERE CONSTRUCTION ACTIVITY IS TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS.
- AN EROSION CONTROL MAT SHALL BE INSTALLED IN ALL OPEN CHANNELS UNTIL VEGETATION IS ESTABLISHED.

STABILIZED ENTRANCE NOTES

- STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED BY PLACING A LAYER OF FILTER FABRIC COVERED BY A MINIMUM OF 6 INCHES OF CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. MINIMUM LENGTH SHALL BE 50'.
- THE ENTRANCE SHALL BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES SHALL BE REMOVED IMMEDIATELY.
- WHEN NEEDED, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.



CONSTRUCTION ENTRANCE
N.T.S.

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SITE CONSTRUCTION PLANS
HARWOOD MEDICAL OFFICE
LOT 8R, BLOCK 2, OAK FOREST ADDITION
CITY OF EULESS, TEXAS
EROSION CONTROL PLAN

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KEITH M. HAMILTON 87384 \$DATES
PE NO. DATE

NO.	REVISION	DATE	DESIGNED	DRAWN	CHECKED	TESTED	IN CHARGE
024-089 <td></td> <td>6/27/2013</td> <td>K.M.H.</td> <td>M.J.C.</td> <td>K.M.H.</td> <td></td> <td></td>		6/27/2013	K.M.H.	M.J.C.	K.M.H.		



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF AN IS PLAN. LANDSCAPE ARCHITECT REGISTRATION NUMBER AND ON BEHALF OF THE ORIGINAL DRAWING ARCHITECT. THE USER OF THIS FILE IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS TO REPRODUCE OR TRANSMIT THIS FILE IN ANY MANNER. THE USER OF THIS FILE IS NOT BEING HELD RESPONSIBLE FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE ORIGINAL INTENT OF THE ARCHITECT. THE USER OF THIS FILE IS NOT BEING HELD RESPONSIBLE FOR ANY DAMAGE TO THE ORIGINAL DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

DR MASTER
 HARWOOD ROAD
 EULESS, TEXAS

CITY OF EULESS LANDSCAPE REQUIREMENTS		
AREA		
STREET YARD LANDSCAPE	15% OF STREET YARD SHALL BE LANDSCAPE	
	REQUIRED	PROVIDED
	14,493 SF X 15% = 2,174 SF	4,120 SF
	NOT LESS THAN 10 TREES PLUS 1/2000 SF OVER 10,000	
	REQUIRED	PROVIDED
	4,493 SF / 2,000 = 3 + 10 TREES = 13	13 TREES
PARKING LOT LANDSCAPE	90 SF PER 12 PARKING SPACES	
	REQUIRED	PROVIDED
	30 SPACES / 12 X 90 = 270 SF	150 SF
	NOT LESS THAN 30 SHRUBS PLUS 1/100 SF OVER 1500	
	REQUIRED	PROVIDED
	674 SF / 100 = 30 + 7 SHRUBS = 37	10 SHRUBS
PARKING LOT LANDSCAPE	90 SF PER 12 PARKING SPACES	
	REQUIRED	PROVIDED
	30 SPACES / 12 X 90 = 270 SF	150 SF
	NOT LESS THAN 150 SF OF GROUND COVER PLUS 1/100 SF OVER 1500	
	REQUIRED	PROVIDED
	674 SF X 5% = 34 + 150 SF GROUND COVER = 184 SF	310 SF GROUND COVER

- ALL REQUIRED LANDSCAPE SHALL BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM APPROVED BY ADMINISTRATOR.
- ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED BY DEVELOPER/OWNER OF THE LAND AT ALL TIMES.
- ALL REQUIRED LANDSCAPING WHICH ARE ADJACENT TO PAVING SHALL BE PROTECTED WITH CURES.

NOTE: UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.

TREE REMOVAL			
Number	DBH	Common Name	Comment-Reason
THERE ARE NO EXISTING TREES ON THIS SITE			

- PLANTING NOTES:
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 - SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
 - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 - IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH, DEAD AND DISEASED BRANCHES AND LIMBS, VINES, BRIARS AND OTHER INVASIVE GROWTH, AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4/1 OR GREATER.
 - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B4B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B4B PLANTS FOR LATE SEASON INSTALLATION.

DENOTES AREAS TO BE SOLID BERMUDA SOD

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. INSTALL SOD TO ESTABLISH TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

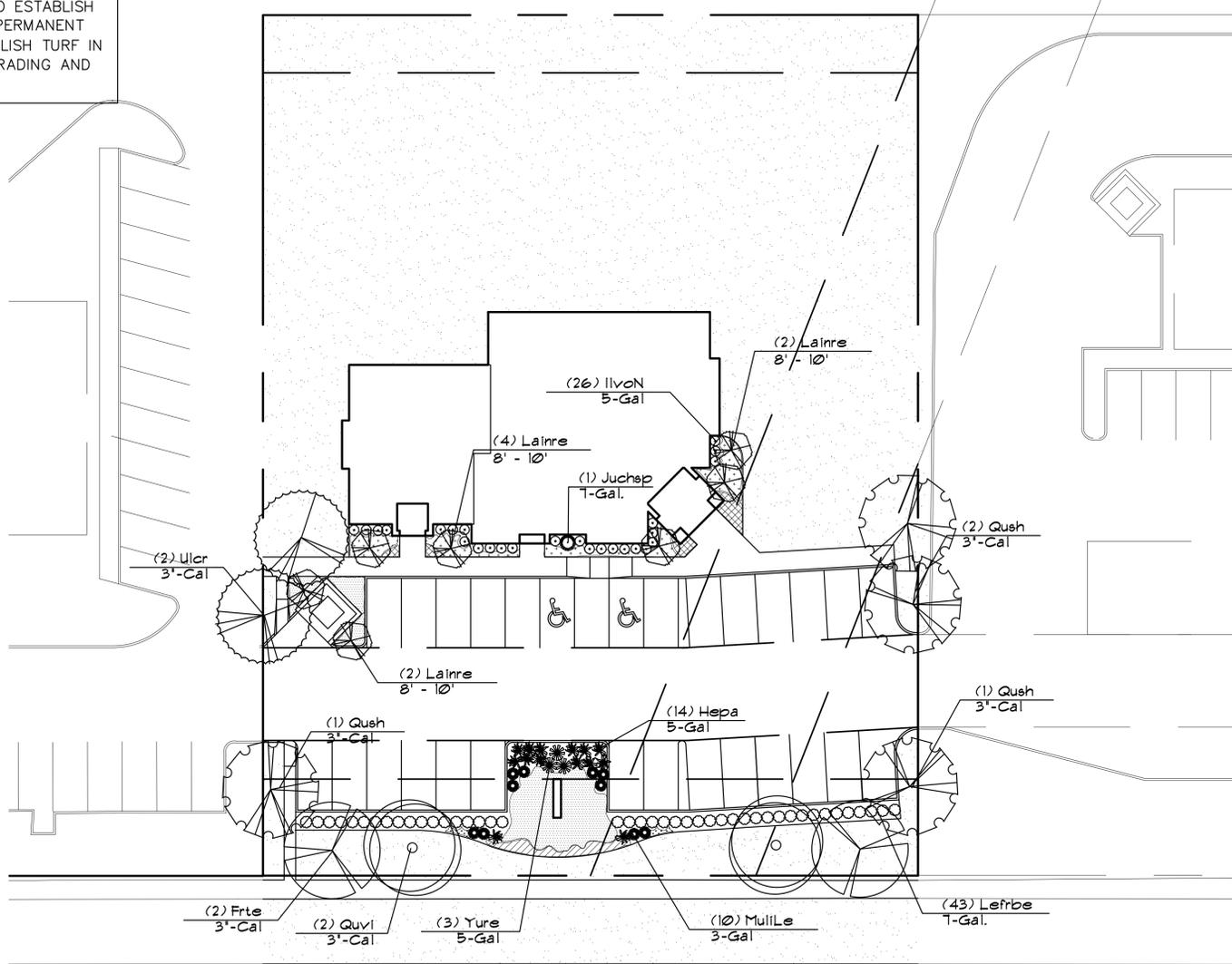
CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)
 1-800-344-8377
 TEXAS ONE CALL SYSTEMS
 1-800-245-4545
 LONE STAR NOTIFICATION CENTER
 1-800-669-8344 EXT. 5
 BEFORE YOU DIG...

NOTE:
 NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.



NORTH

SCALE: 1"=20'



PLANT LIST

Symbol	Quantity	Code Name	Scientific Name	Common Name	Planting Size	Comments
(Symbol)	4	Qush	Quercus shumardii	Shumard oak	3'-Cal	B 4 B, single straight trunk, 12' Ht. min.
(Symbol)	1	Lainre	Lagerstromia indica 'Red Rocket'	'Red Rocket' crape myrtle	8' - 10'	3-5 Canes, tree form, 8' Ht min.
(Symbol)	2	Frte	Fraxinus texensis	Texas ash	3'-Cal	B 4 B, single straight trunk, 12' Ht. min.
(Symbol)	2	Uivr	Ulmus crassifolia	Cedar elm	3'-Cal	B 4 B, single straight trunk, 12' Ht. min.
(Symbol)	2	Quvi	Quercus virginiana	Southern live oak	3'-Cal	B 4 B, single straight trunk, 12' Ht. min.
(Symbol)	43	Lefrbe	Leucophyllum frutescens 'Compacta'	'Compact dwarf' sage	1-Gal.	36' O.C.
(Symbol)	14	Hepa	Heperaloe parviflora	Red yucca	5-Gal.	36' O.C.
(Symbol)	3	Yure	Yucca recurvifolia	Pendulous yucca	5-Gal.	36' O.C.
(Symbol)	10	MullLe	Muhlenbergia lindheimeri 'Leni'	'Autumn Glow' Muhly	3-Gal.	36' O.C.
(Symbol)	1	Juchep	Juniperus chinensis 'Spartan'	'Spartan' juniper	1-Gal.	As shown
(Symbol)	26	IivoN	Ilex vomitoria 'Nana'	Dwarf yaupon	5-Gal.	36' O.C.
(Symbol)	330	Limu	Liriope muscari 'Big Blue'	'Big Blue' Liriope	4' pot	12' O.C.
(Symbol)	10	Safa	Salvia farinacea 'Henry Duelberg'	'Henry Duelberg' Salvia	1-Gal.	18' O.C.
(Symbol)	290	Site	Stipa tenuissima	Mexican feathergrass	1-Gal.	18' O.C.
(Symbol)	40	Sach	Santolina chamaecyparissus	Santolina	1-Gal.	18' O.C.
(Symbol)	130	Seco		Seasonal color	4' pot	9' O.C.

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY.

TREE PRESERVATION &
 LANDSCAPE PLAN

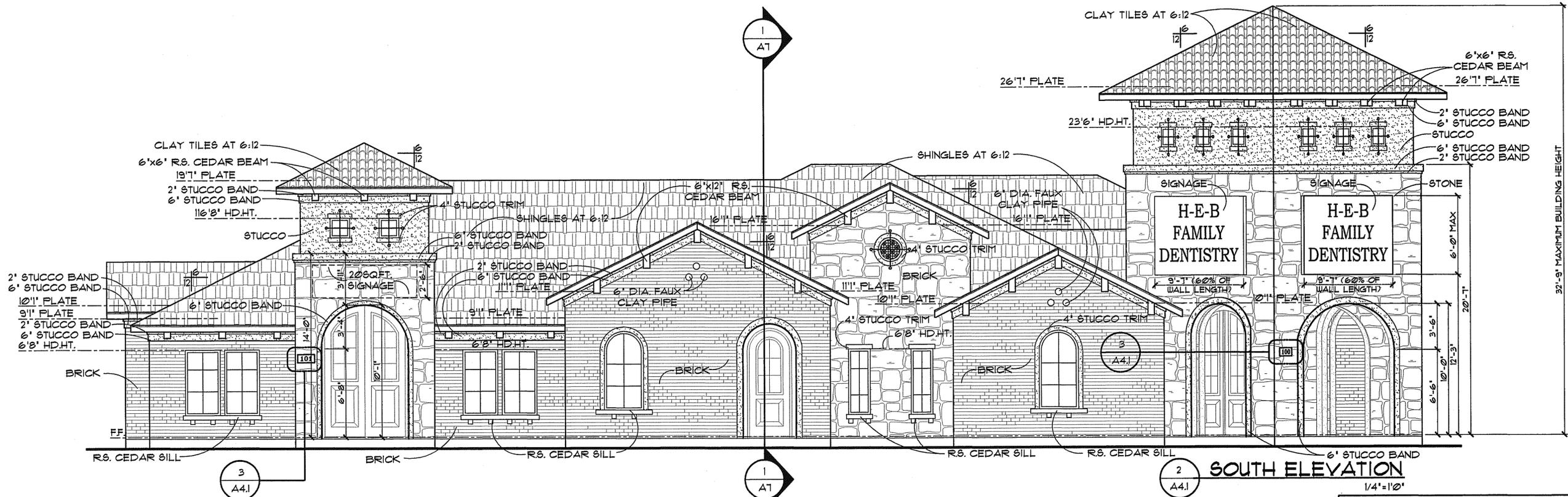
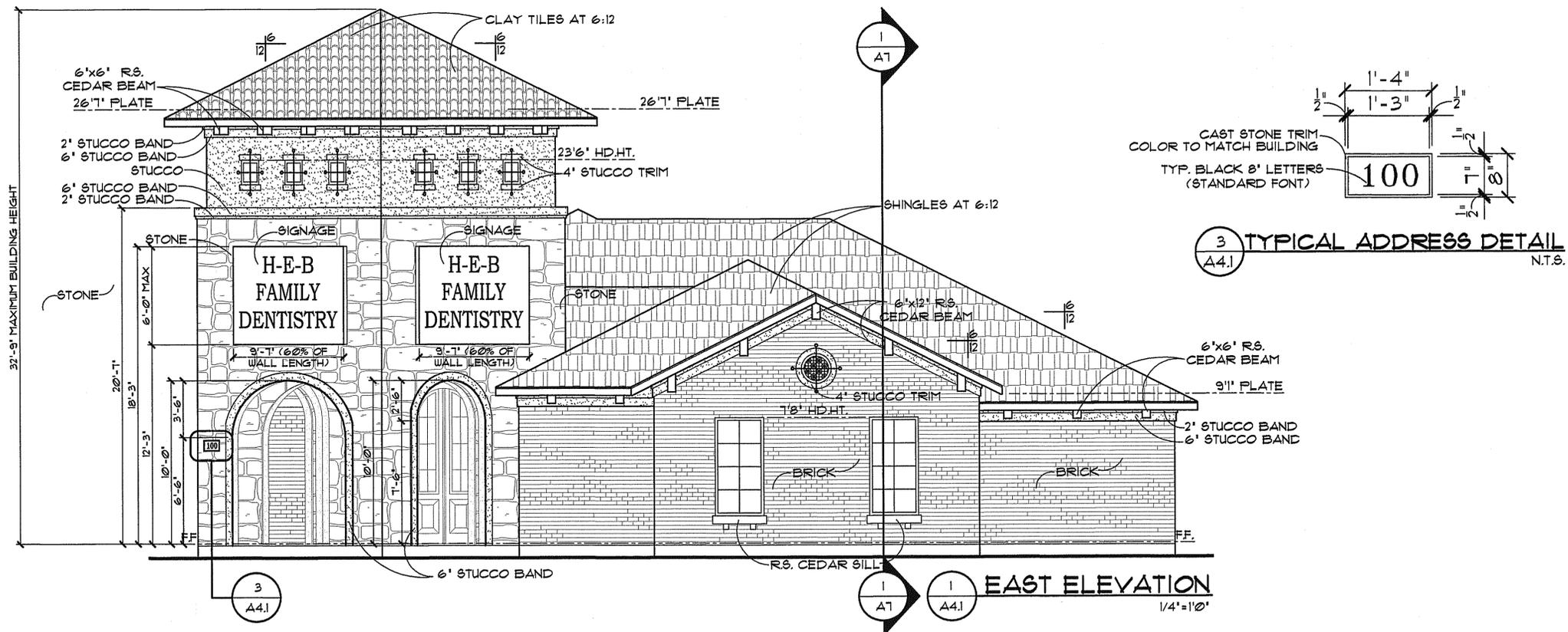
CITY APPROVAL BLOCK SITE PLAN

H-E-B FAMILY DENTISTRY OFFICE BLDG.

SITE 4 ZONING APPROVAL - CASE NO.

LOT 8R, BLOCK 2, OAK FOREST ADDITION
 220 W. HARWOOD ROAD
 0.871 ACRES (37,964 SQFT.) OF LAND
 CITY OF EULESS, TARRANT COUNTY, TEXAS
 PLANS PREPARED ON JUNE 12, 2013

APPROVED BY: _____



MASONRY TABLE

DIRECTION	WALL AREA	BRICK %	STUCCO %	STONE %	WOOD %	TOTAL %
WEST ELEV.	670 SQFT.	53%	23%	10%	2%	100%
NORTH ELEV.	864 SQFT.	70%	10%	11%	1%	100%
EAST ELEV.	871 SQFT.	42%	23%	33%	1%	100%
SOUTH ELEV.	794 SQFT.	60%	10%	40%	1%	100%
TOTAL	3,738 SQFT.	51%	21%	27%	1%	100%

**CITY APPROVAL BLOCK
EAST & SOUTH ELEVATIONS**

SITE & ZONING APPROVAL -
CASE NO.

LOT 8R, BLOCK 2,
OAK FOREST ADDITION
220 W. HARWOOD ROAD
0.81 ACRES (37,364 SQFT.) OF LAND
CITY OF EULESS, TARRANT COUNTY, TEXAS
PLANS PREPARED ON JULY 1, 2013

APPROVED BY: _____

Date 07/01/2013
 Drawn By NEH
 Checked By MJW
 Revisions _____

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF THE ARCHITECT. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING FOR THE PREPARATION OF THE FINAL SET OF DRAWINGS. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. NO PERSON SHALL BE HELD RESPONSIBLE FOR ANY REVISIONS TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE ARCHITECT'S CONTRACT. NO PERSON SHALL MAKE ANY REVISIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

HEB FAMILY DENTISTRY
OFFICE BUILDING
220 W. HARWOOD ROAD
EULESS, TEXAS

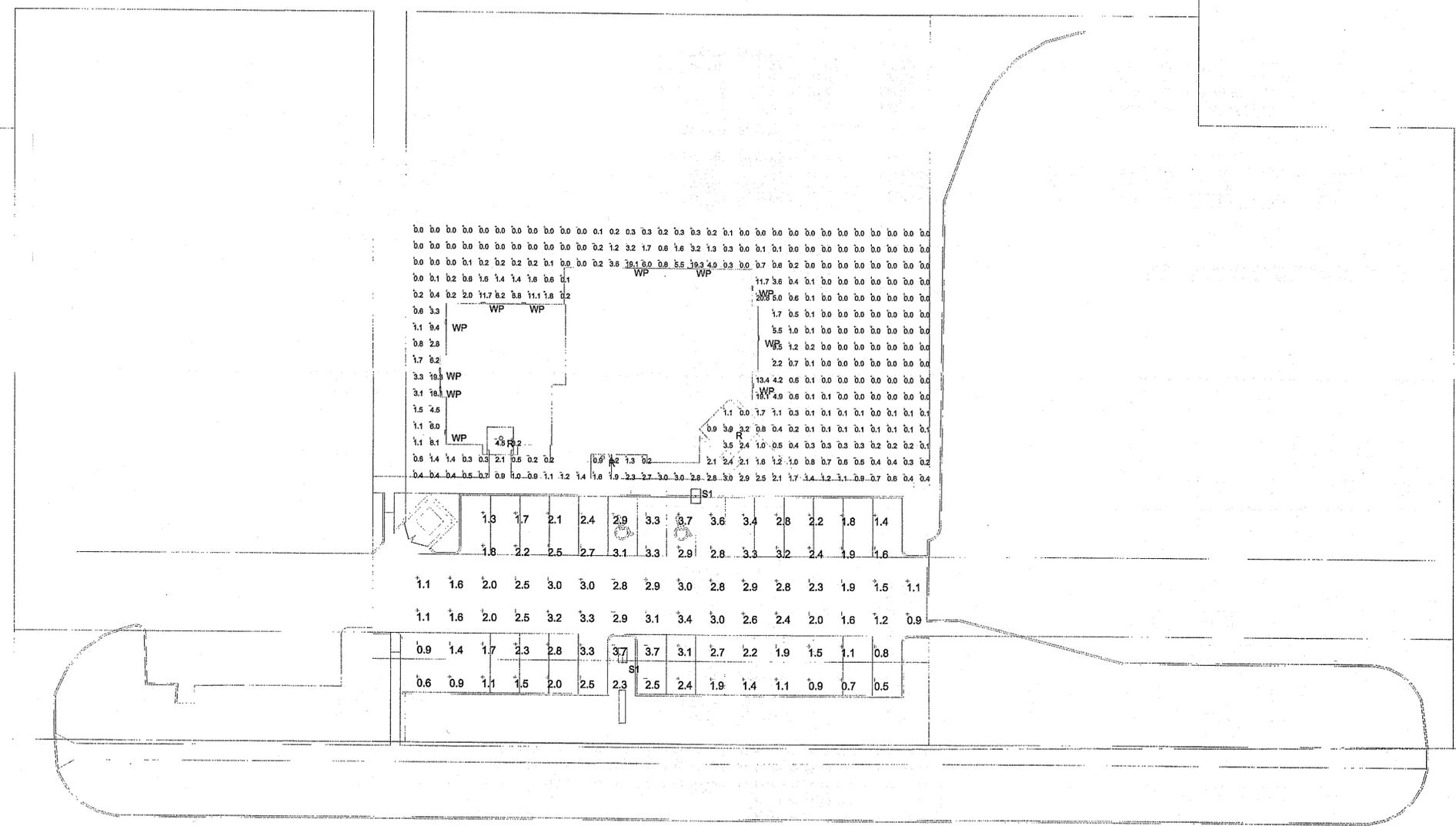
ARCHITECT'S SEAL

M.J. WRIGHT & ASSOCIATES, INC.
8233 MIDCITIES BOULEVARD STE. A, ARLING, TX 76010
OFFICE: 817/268-5555 M.J.WRIGHT@MJA.COM
FAX: 817/268-5558 WWW.MJWRIGHT.COM

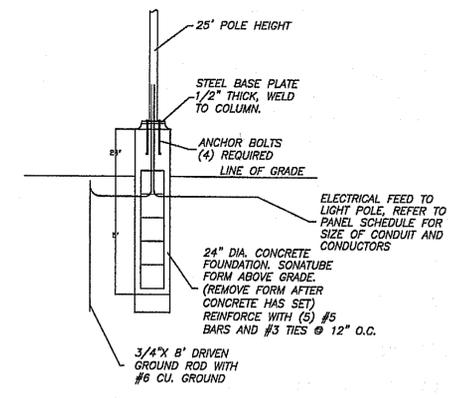
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Sheet No.
A4.1
Project No.
130201A6

June 10, 2013
 Dr. Rushi Master - Denral Office
 Euless, Texas



1 SITE PLAN
 SCALE 1"=20'0"



2 POLE DETAIL
 SCALE - NOT TO SCALE

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
WP	11	WP	SINGLE	N.A.	0.864	XTOR2A
R	3	R	SINGLE	N.A.	0.864	ML5606935-591WB
S1	2	S1	SINGLE	N.A.	0.912	GLEON-AA-04-LED-E1-SL3

25' Pole / 2.5' Base

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISpLr	PISpTb
Building Perimeter	Illuminance	Fc	1.35	20.8	0.0	N.A.	N.A.	5	5
Parking @Finished Grade	Illuminance	Fc	2.22	3.7	0.5	4.44	7.40	10	10

LumNo	Label	X	Y	Z	Orient	Tilt
1	R	108.02	99.07	10.08	0	0
2	R	68.91	90.26	10.08	0	0
3	R	37.72	95.92	10.08	0	0
4	S1	97.554	81.248	27.5	270	0
5	S1	75.14	27.56	27.5	90	0
6	WP	20.72	97.53	7.5	180	0
7	WP	19.05	110.89	7.5	180	0
8	WP	19.05	116.4	7.5	180	0
9	WP	20.86	131.1	7.5	180	0
10	WP	32.21	136.88	7.5	90	0
11	WP	44.59	136.88	7.5	90	0
12	WP	76.56	148.43	7.5	90	0
13	WP	85.75	148.43	7.5	90	0
14	WP	114.97	112.68	7.5	0	0
15	WP	116.74	127.1	7.5	0	0
16	WP	114.89	142.36	7.5	0	0

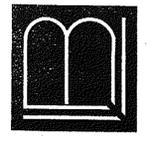
NOTE: THE PROPERTY REPRESENTED ON THIS PLAN CONFORMS WITH THE PARKING LOT LIGHTING REQUIREMENTS OF SECTION 84-201(I) OF THE UNITED DEVELOPMENT CODE OF THE CITY OF EULESS, TEXAS.

NOTE TO BIDDERS
 THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.



DR. RUSHI MASTER
 LOT 8R, BLOCK 2
 OAK FOREST ADDITION
 EULESS, TEXAS

LARRY L. BLACKMON INC.
 ENGINEERING & BUILDING DESIGN
 6716 AZLE AVENUE
 FORT WORTH, TEXAS 76135
 REGISTRATION #: F-002382
 PHONE: 817-238-9801 FAX: 817-238-9804
 www.blackmoninc@sbcglobal.net



SHEET:
SL1

DATE:
 06/10/13

DRAWN BY:
 RLH

DESIGN BY:
 LLB